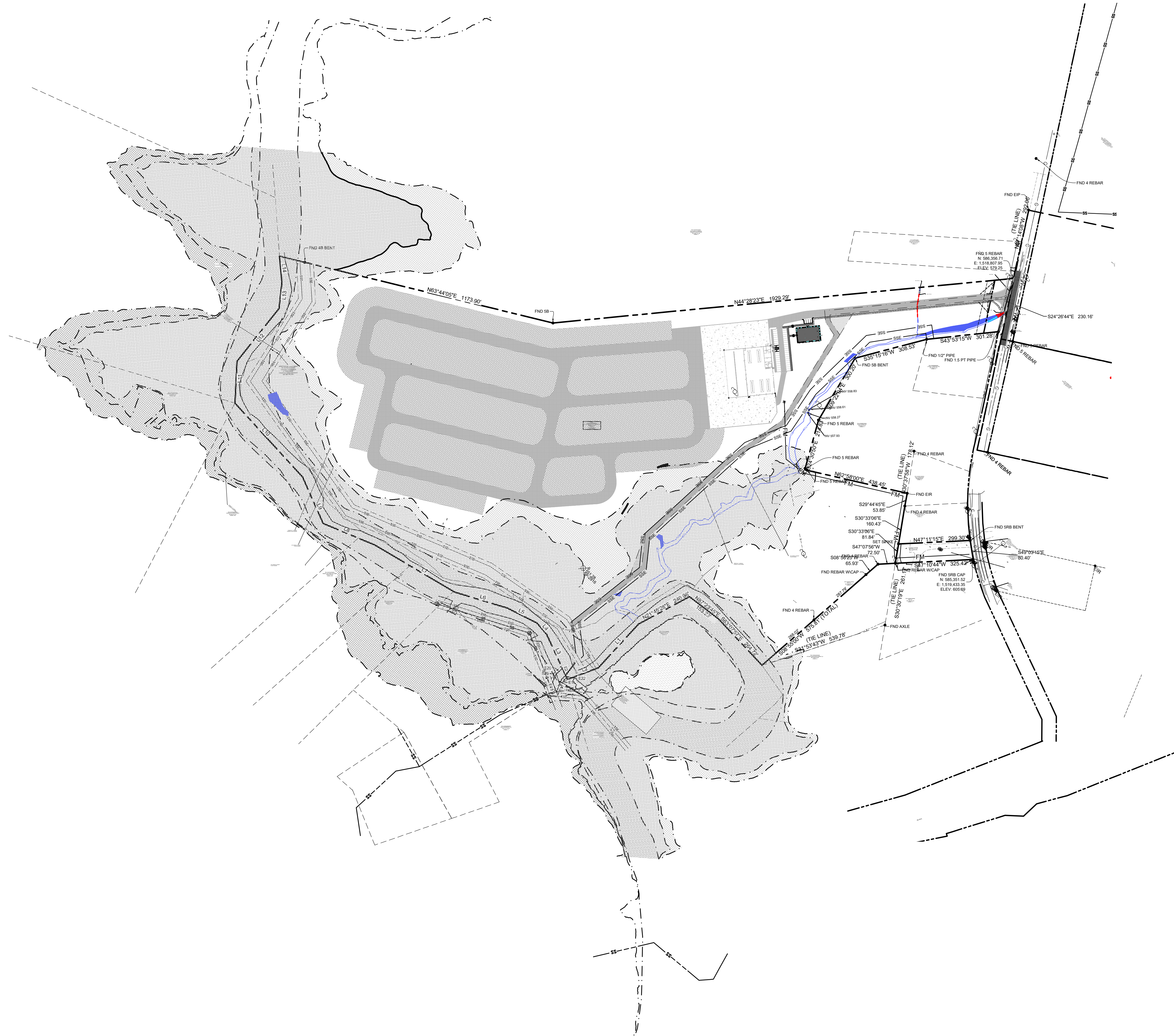


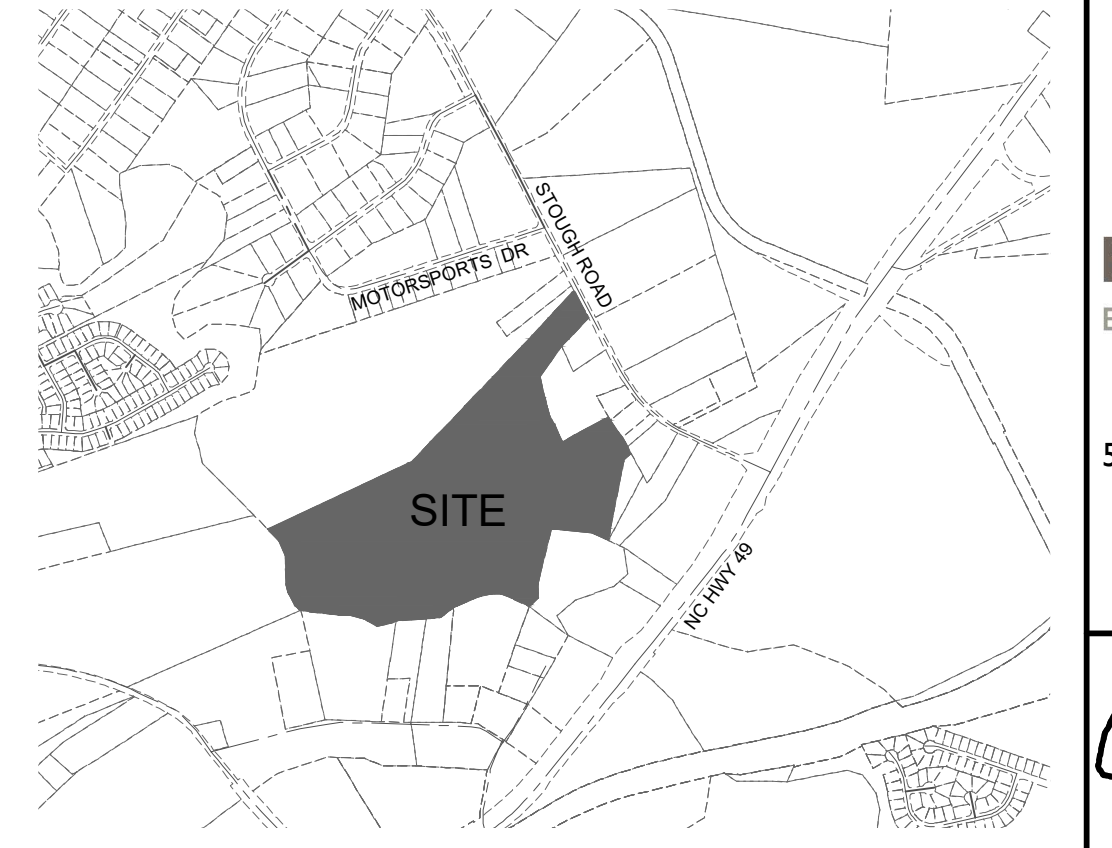
**PROJECT SUMMARY**

**PROJECT NAME:** MCGRATH RENTCORP STORAGE FACILITY  
**DEVELOPER:** MCGRATH RENTCORP  
**PLANS PREPARED BY:** BURTON ENGINEERING ASSOCIATES  
**ZONING:** I-1  
**APPROVED PETITION NO:** Z-25-21  
**TAX PARCEL NO:** 5518-74-9619  
**JURISDICTION:** CITY OF CONCORD, NC  
**WATERSHED DISTRICT:** CATAWBA WATERSHED  
**FEMA INFORMATION:**  
 MAP NO: 3710551800K  
 MAP DATE: 11/16/2018  
 FLOOD ZONE: AE  
**LOT SIZE:** 74.019 ACRES  
**SETBACK REQUIREMENTS:**  
 STREET SETBACK: 30'  
 SIDE YARD: N/A  
 REAR YARD: N/A  
**BUFFER REQUIREMENTS:**  
 STREET: N/A  
 INTERIOR SIDE: 50' TYPE 'D', 20' TYPE 'C'  
 REAR: N/A  
**BUILDING INFORMATION:**  
 PROPOSED USE: STORAGE S1  
 BUILDING HEIGHT: 29.5'  
 STORIES: 1 (WITH MEZZANINE)  
 BUILDING COVERAGE: 38,409-SF  
 TYPE OF CONSTRUCTION: IIB

PERMIT DRAWING PACKAGE FOR  
**MCGRATH RENTCORP  
 STORAGE FACILITY**  
 4862 STOUGH ROAD  
 CONCORD, NORTH CAROLINA



**VICINITY MAP** NOT TO SCALE



**PROJECT CONTACT INFORMATION**

**ENGINEER:** Burton Engineering Associates  
 5950 Fairview Road, Suite 100  
 Charlotte, NC 28210  
 P: (704) 553-8881

**TOPOGRAPHIC SURVEY:** C. Gary Brooks, PLS  
 5950 Fairview Road, Suite 100  
 Charlotte, NC 28210  
 P: (704) 553-6171

**OWNER:** MCGRATH RENTCORP  
 5700 Las Postas Rd  
 Livermore, CA 94551  
 P: (925) 453-3106

**SOILS ENGINEER:**

**ARCHITECT:** PRIEST ARCHITECTURE, PLLC  
 Daniel Priest  
 3329 Commonwealth Ave  
 Charlotte, NC 28205  
 P: (704) 379-1810

**CONTRACTOR:** SOUTHSIDE CONSTRUCTORS, INC  
 211319-D Granite St  
 Charlotte, NC 28273  
 P: (704) 825-8881

**MUNICIPALITY CONTACT INFORMATION**

**PLANNING & ZONING:** City of Concord  
 Montara Adams  
 635 Alfred Brown Jr Court SW  
 Concord, NC 28026  
 P: (704) 920-5155

**CONCORD DOT:** City of Concord  
 Devin Huston  
 635 Alfred Brown Jr Court SW  
 Concord, NC 28026  
 P: (704) 920-5363

**ENGINEERING:** City of Concord  
 Chris Sheriff  
 635 Alfred Brown Jr Court SW  
 Concord, NC 28026  
 P: (704) 920-5407

**UTILITIES (WATER/SEWER):** City of Concord  
 Sherril V. Moore  
 635 Alfred Brown Jr Court SW  
 Concord, NC 28026  
 P: (704) 920-5415

**EROSION CONTROL:** NCEG  
 Zahid Khan  
 610 East Center Avenue, suite 301  
 Mooresville, NC 28115  
 P: (704) 663-1699

**FIELD INSPECTOR:**

**DRAWING SHEET SUMMARY**

SHEET	SHEET TITLE	ORIGINAL DATE	LATEST REV.
C000	COVER SHEET	5/18/2022	
C100	PROJECT NOTES	5/18/2022	
C200	OVERALL SITE & UTILITY PLAN	5/18/2022	
C201	ENLARGED SITE & UTILITY PLAN	5/18/2022	
C300	OVERALL GRADING & DRAINAGE PLAN	5/18/2022	
C301	GRADING & DRAINAGE PLAN NORTH	5/18/2022	
C302	GRADING & DRAINAGE PLAN SOUTH	5/18/2022	
C400	EROSION CONTROL PHASE 1	5/18/2022	
C401	EROSION CONTROL PHASE 2	5/18/2022	
C500	STORMWATER MANAGEMENT PLAN	5/18/2022	
C501	STORMWATER PLANTING PLAN	5/18/2022	
C502	STORMWATER MANAGEMENT PLAN	5/18/2022	
C503	STORMWATER PLANTING PLAN	5/18/2022	
C600	LANDSCAPE PLAN	5/18/2022	
C700	DETAILS	5/18/2022	
C701	DETAILS	5/18/2022	
C702	DETAILS	5/18/2022	
C703	DETAILS	5/18/2022	
C800	EXISTING CONDITIONS	5/18/2022	
C801	WATER MAIN EXTENSION PLAN	5/18/2022	
C804	SIGHT DISTANCE PLAN	5/18/2022	



**MCGRATH RENTCORP - STORAGE FACILITY**  
 4862 STOUGH ROAD  
 CONCORD, NORTH CAROLINA 28027

COVER SHEET

CHB  
 PH  
 CTB  
 ENG  
 CHB  
 DRAWN BY  
 DATE

REVISIONS

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PROJECT NUMBER  
 021.614.003

**C000**  
 Sheet 1 of 26

**UTILITY NOTES**

- PER CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 6, SECTION 62-98 (2) ALL MATERIALS, EQUIPMENT, LABOR, AND WORKMANSHIP ASSOCIATED WITH PUBLIC WATER AND/OR SEWER EXTENSION AND/OR MODIFICATION SHALL BE IN ACCORDANCE WITH AND SUBJECT TO THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS. THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, AND THE NORTH CAROLINA ADMINISTRATIVE CODE FOR WASTEWATER COLLECTION AND WATER DISTRIBUTION SYSTEMS. IN THE EVENT OF CONFLICT BETWEEN THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS, THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, OR THE NORTH CAROLINA ADMINISTRATIVE CODE, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.
- REVIEW AND APPROVAL OF THE PLANS DOES NOT RELIEVE THE OWNER, CONTRACTOR, OR DEVELOPER FROM MEETING THE REQUIREMENTS OF THE CITY OF CONCORD'S OR CABARRUS COUNTY ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, AS APPLICABLE. CONCORD WATER & SEWER POLICIES AND TECHNICAL SPECIFICATIONS, THE STANDARD SPECIFICATION FOR WASTEWATER COLLECTION & WASTE DISTRIBUTION FOR CABARRUS COUNTY (WSACC MANUAL) AND ANY OTHER LOCAL, STATE, AND FEDERAL REGULATIONS & APPROVALS.
- THE CONTRACTOR MUST CONTACT THE CITY OF CONCORD ENGINEERING CONSTRUCTION MANAGER AT 704-920-5425 AT LEAST 24 HOURS PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
- THE EXISTING WATER MAIN VALVE RIMS AND STEMS AND THE EXISTING SEWER MAIN MANHOLES RIMS ARE TO BE RAISED OR LOWERED TO FINAL GRADE, AS APPLICABLE AND AT LEAST 3-FT OF GROUND COVER IS TO BE MAINTAINED OVER THE EXISTING UTILITIES AT ALL TIMES PER THE CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98.
- CONCORD CODE OF ORDINANCES CHAPTER 62, ARTICLE 6, SECTION 62-98 (2) ALL MATERIALS, EQUIPMENT, LABOR, AND WORKMANSHIP ASSOCIATED WITH PUBLIC WATER AND/OR SEWER EXTENSION AND/OR MODIFICATION SHALL BE IN ACCORDANCE WITH AND SUBJECT TO THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS. THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, AND THE NORTH CAROLINA ADMINISTRATIVE CODE FOR WASTEWATER COLLECTION AND WATER DISTRIBUTION SYSTEMS. IN THE EVENT OF CONFLICT BETWEEN THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS, THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, OR THE NORTH CAROLINA ADMINISTRATIVE CODE, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.
- PER THE CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98: THE FOLLOWING MINIMUM SEPARATIONS MUST BE INDICATED, UNLESS OTHERWISE APPROVED BY THE CITY. A MINIMUM HORIZONTAL SEPARATION OF FIVE FEET SHALL BE MAINTAINED BETWEEN ANY TYPE OF MAINTENANCE OBSTRUCTION AND THE CITY'S WATER DISTRIBUTION LINES, WASTEWATER COLLECTION LINES, AND ASSOCIATED APPURTENANCES, UNLESS AN EXCEPTION IS GRANTED. GREATER SEPARATION DISTANCES MAY BE REQUIRED AS SPECIFIED BY FEDERAL, STATE, OR LOCAL REGULATIONS.
  - A MINIMUM VERTICAL SEPARATION OF TWO FEET SHALL BE MAINTAINED BETWEEN ANY TYPE OF MAINTENANCE OBSTRUCTION, INCLUDING BUT NOT LIMITED TO ANY OTHER UTILITY PROVIDER'S LINES OR EQUIPMENT, AND THE CITY WATER DISTRIBUTION LINES, WASTEWATER COLLECTION LINES, AND ASSOCIATED APPURTENANCES. UNLESS AN EXCEPTION IS GRANTED, IF AN EXCEPTION IS GRANTED, A MINIMUM VERTICAL SEPARATION OF ONE FOOT MUST BE MAINTAINED AND THE CITY WATER DISTRIBUTION LINES, WASTEWATER COLLECTION LINES, AND ASSOCIATED APPURTENANCES SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE OR AN APPROVED FERROUS MATERIAL, WITH JOINTS THAT ARE EQUIVALENT TO POTABLE WATER MAIN STANDARDS FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE POINT OF CROSSING. GREATER SEPARATION DISTANCES MAY BE REQUIRED AS SPECIFIED BY FEDERAL, STATE, OR LOCAL REGULATIONS.
  - A MINIMUM HORIZONTAL SEPARATION OF TEN FEET SHALL BE MAINTAINED BETWEEN THE CITY WATER DISTRIBUTION SYSTEM AND WASTEWATER COLLECTION LINES, AND ASSOCIATED APPURTENANCES, UNLESS AN EXCEPTION IS GRANTED.

**PROJECT SUMMARY**

**PROJECT NAME:** MCGRATH RENTCORP STORAGE FACILITY  
**DEVELOPER:** MCGRATH RENTCORP  
**PLANS PREPARED BY:** BURTON ENGINEERING ASSOCIATES  
**ZONING:** I-1  
**APPROVED PETITION NO:** 2-25-21  
**TAX PARCEL NO:** 5519-74-9619  
**JURISDICTION:** CITY OF CONCORD, NC  
**WATERSHED DISTRICT:** CATAWBA WATERSHED  
**FEMA INFORMATION:**  
 MAP NO: 3710551800K  
 MAP DATE: 11/16/2018  
 FLOOD ZONE: AE  
**LOT SIZE:** 74,019 ACRES

**IMPERVIOUS AREA SUMMARY**

**TOTAL EXISTING IMPERVIOUS:** 0-SF  
**EXISTING TO BE REMOVED:** 0-SF  
**EXISTING TO REMAIN:** 0-SF  
**TOTAL NEW IMPERVIOUS:** 1,296,499-SF  
**ROOF AREA:** 44,149-SF  
**ASPHALT PAVEMENT:** 405,979-SF  
**CONCRETE PAVEMENT:** 68,825-SF  
**GRAVEL: 777,546-SF**  
**TOTAL PROPOSED IMPERVIOUS:** 1,296,499-SF  
 (29.75 ACRES/ 74,019 ACRES = 40% IMPERVIOUS)  
 80% MAX IMPERVIOUS AREA ALLOWED (59,215 AC)  
 (44,389 ACRES/ 74,019 ACRES = 60% PEROVIOUS)

**PARKING TABULATION**

**REQUIRED PARKING:**  
 2 SPACES PER 3 EMP @ LARGEST SHIFT = (13 EMP/3 x 2) 9 REQUIRED  
 1 SPACE PER 400SF OF GFA = (8,388SF/400SF) 21 REQUIRED  
**TOTAL PROVIDED = 47 SPACES**

**ACCESSIBLE PARKING**  
 REQUIRED = 2 (INCLUDING 1 VAN)  
 PROVIDED = 2 (INCLUDING 1 VAN)

**LOADING SPACE**  
 REQUIRED: (1) 12x60'  
 PROVIDED: (1) STORAGE YARD

**SITE KEYS**

- NEW 1" - 6" STANDARD CURB AND GUTTER. SEE SHEET C700
- NEW CONCRETE SIDEWALK, MIN. 4" THICK 4,000 PSI CONCRETE. SEE SHEET C700
- NEW ACCESSIBLE PARKING SIGNAGE SEE DETAILS SHEET C700
- NEW ACCESSIBLE RAMP/DEPRESSED CURB. IN ACCORDANCE WITH N.C. ACCESSIBILITY CODE & ADA REQUIREMENTS & SPECIFICATIONS SEE DETAIL SHEET C700.
- NEW HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL THIS SHEET.
- NEW HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL THIS SHEET.
- NEW NORMAL DUTY ASPHALT PAVEMENT. SEE DETAIL THIS SHEET.
- NEW GUARDRAIL PER NCDOT STANDARDS 862.01, 862.02, & 862.03
- NEW 6" HIGH CHAIN LINK FENCE.
- NEW DUMPSTER PAD & ENCLOSURE WITH GATES. CONCRETE DUMPSTER PAD & APPROACH APRON SHALL BE 6" THICK 4,000-PSI CONCRETE WITH 2" X 6" W2 X W2.9 WWF 2" CLEAR OF BOTTOM OVER 6" CABO OVER COMPACTED SUB-GRADE. COORDINATE CURB LOCATION & FACE TO FACE CURB DIMENSION WITH REQUIRED ENCLOSURE DIMENSIONS. REFER TO ARCHITECTURAL PLAN FOR SCREENING AND GATE REQUIREMENTS. SEE SHEET C700
- NEW 4" PARKING STALL STRIPE, WHITE.
- NEW 1" - 6" MOUNTABLE CURB AND GUTTER FOR FIRE ACCESS. SEE SHEET C700
- NEW HEAVY DUTY GRAVEL PAVING
- NEW 2" - 6" STANDARD CURB AND GUTTER. SEE SHEET C700 & C703

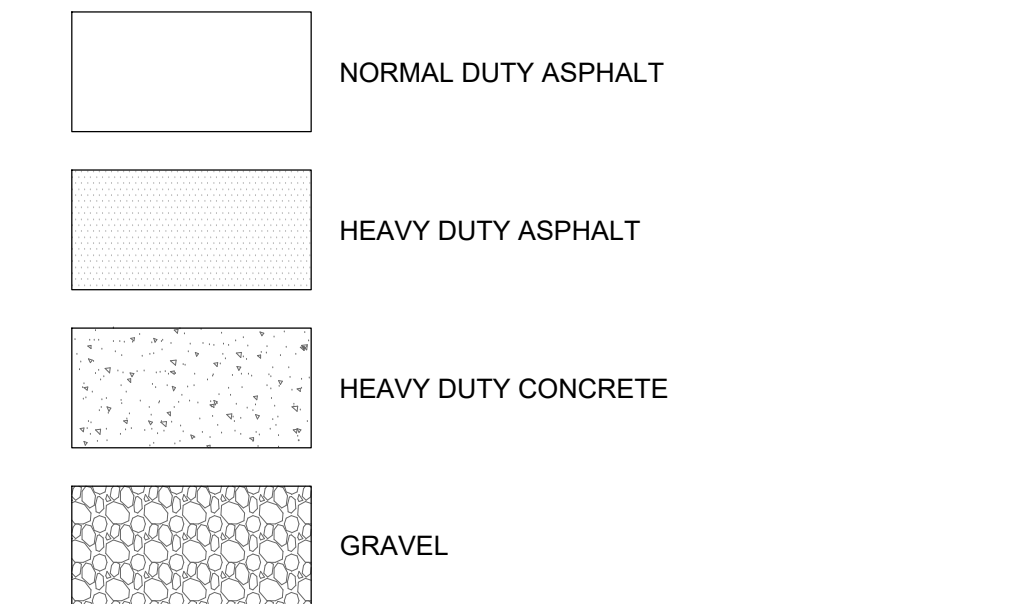
**UTILITY KEYS**

- NEW 8" FIRE LINE SERVICE TAPPING SLEEVE AND VALVE.
- NEW 2" DOMESTIC WATER METER AND TAP IN BELOW-GRADE BOX.
- NEW 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN INSULATED ENCLOSURE PER CWTWATER REQUIREMENTS. ENCLOSURE TO INCLUDE DRAINPORT FOR DISCHARGE WATER.
- NEW 8" REDUCED PRESSURE DETECTOR BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN INSULATED ENCLOSURE PER CWTWATER REQUIREMENTS. INSTALL TAMPER SWITCHES ON GATE VALVES OR BPA. ENCLOSURE TO INCLUDE DRAINPORT FOR DISCHARGE WATER.
- NEW 8" COPPER OR WITH CITY APPROVAL, DPE SDR40 - 200PSI SERVICE WITH TRACING WIRE. (NOTE: NO PVC ALLOWED WITHIN 5' OFF EITHER END OF BACKFLOW PREVENTER).
- NEW 8" FIRE LINE (C900 PVC CL200). (NOTE: NO PVC ALLOWED WITHIN 5' OF EITHER END OF BACKFLOW PREVENTER) PROVIDE BLOCKING/RESTRAINED JOINTS.
- NEW 6" FIRE LINE (DIP). PROVIDE BLOCKING/RESTRAINED JOINTS.
- NEW 4" FDC LEAD (C900 PVC CL200).
- NEW FIRE DEPARTMENT CONNECTION WITH 5" STORZ TYPE CONNECTION.
- NEW 6" STORZ FIRE HYDRANT.
- NEW 1.25" DOMESTIC LINE (SDR21 PVC) (NOTE: NO PVC ALLOWED WITHIN 5' OFF EITHER END OF BACKFLOW PREVENTER).
- NEW 1" DOMESTIC LINE (SDR21 PVC) (NOTE: NO PVC ALLOWED WITHIN 5' OFF EITHER END OF BACKFLOW PREVENTER).
- NEW 4" PVC (SDR35) SEWER LATERAL @ 1.0% MINIMUM SLOPE PROVIDE CLEANOUTS @ 100' AND AT ALL BENDS AND VERTICAL DIRECTION CHANGES.
- NEW DUKE CONCRETE TRANSFORMER PAD. REFER TO DUKE ENERGY SPECIFICATIONS.
- NEW GAS METER. SEE MECHANICAL PLANS FOR EXACT LOCATION.

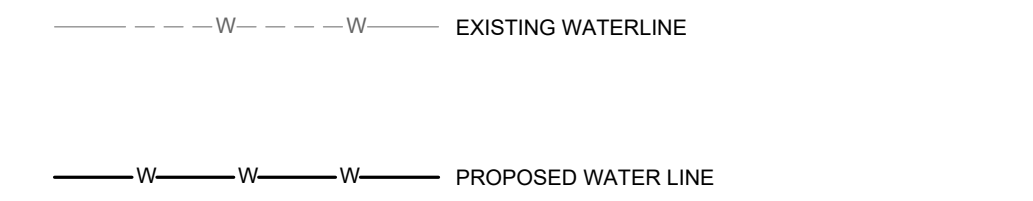
**UTILITY NOTES**

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE CONNECTION POINTS, OR OTHER WATER USING APPURTENANCES CONNECTED TO THE LOCATION BETWEEN ANY WATER METER & ITS CITY REQUIRED BACKFLOW PREVENTER.
- DUCTILE IRON PIPE (RED BRASS FOR 2" WATER PIPE) REQUIRED FOR BOTH WATER & SANITARY SEWER LINES IF THE FOLLOWING CLEARANCES ARE NOT MET:
  - WATER LINE CROSSING UNDER SANITARY SEWER LINE (FOR ANY CLEARANCE)
  - 24" VERTICAL FOR WATER LINE INSTALLED ABOVE SANITARY SEWER LINE
  - 18" HORIZONTAL SEPARATION FOR WATER LINE PARALLEL TO SANITARY SEWER LINE (OR 24" VERTICAL SEPARATION IN SEPARATE DITCHES)
  - FOR WATER LINES 12" CLEARANCE WITH STORM DRAINS, GAS MAINS, TELEPHONE DUCTS, AND UNDERGROUND CABLES.
- ALL WATER MAINS AND SERVICES SHALL BE INSTALLED WITH SOLID COPPER 12-GAUGE TRACER WIRE, 30MILS BLUE HDPE INSULATION.
- ALL SEWER MAINS AND SERVICES SHALL BE INSTALLED WITH SOLID COPPER 12-GAUGE TRACER WIRE, 30MILS GREEN HDPE INSULATION.
- ALL VALVE ASSEMBLIES SHALL BE COMPLETELY OUTSIDE OF ADA HANDICAP RAMPS. FIRE HYDRANTS SHALL BE COMPLETELY OUTSIDE SIDEWALKS AND RAMPS.
- CONTRACTOR TO FIELD VERIFY THE LOCATION OF THE EXISTING GAS MAIN AND FIBER, AND SHIFT THE SERVICE METER ASSEMBLIES TO MITIGATE SEPARATION CONFLICTS IN ACCORDANCE WITH THE CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98.

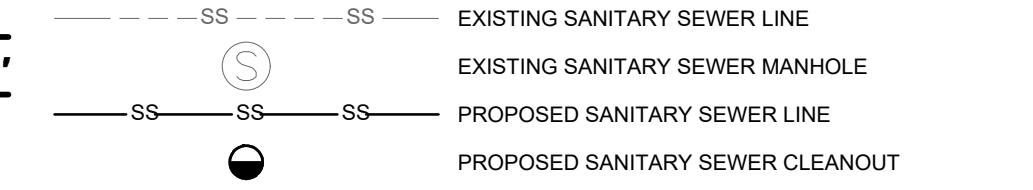
**PAVEMENT HATCH LEGEND**



**WATER LEGEND**



**SEWER LEGEND**



**DRAWING INFORMATION**

**REVISIONS**

NO.	DATE	DESCRIPTION
1	03/27/23	CITY OF CONCORD COMMENTS
2	04/05/23	FIELD CHANGES
3	05/02/24	RTAP

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**PROJECT NUMBER**  
021.614.003

**C200**  
Sheet 3 of 26

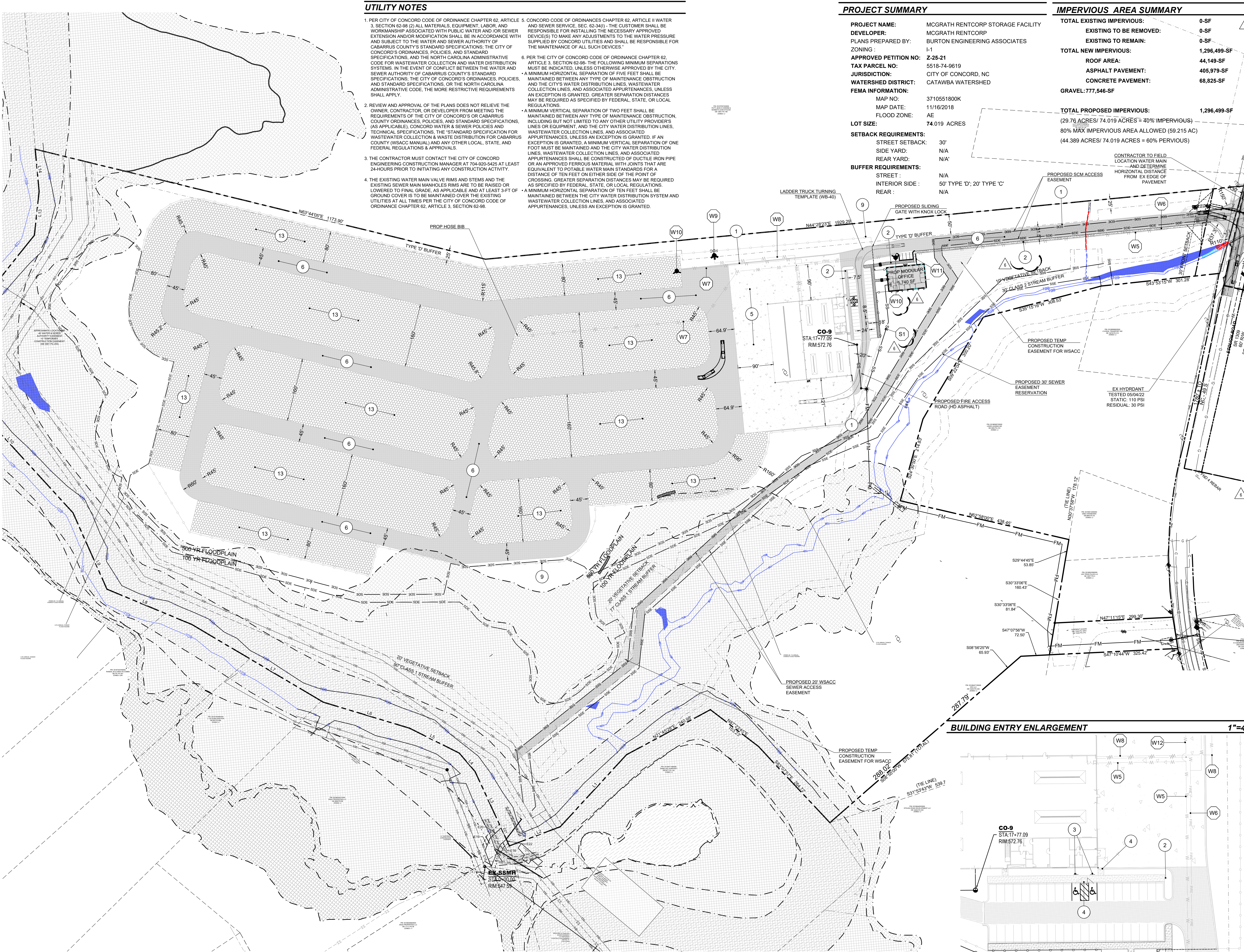
**BURTON ENGINEERING**

5950 FAIRVIEW RD STE 100  
 CHARLOTTE NC 28210  
 (770) 553.8881  
 burtonengineering.com  
 FIRM #C-1157

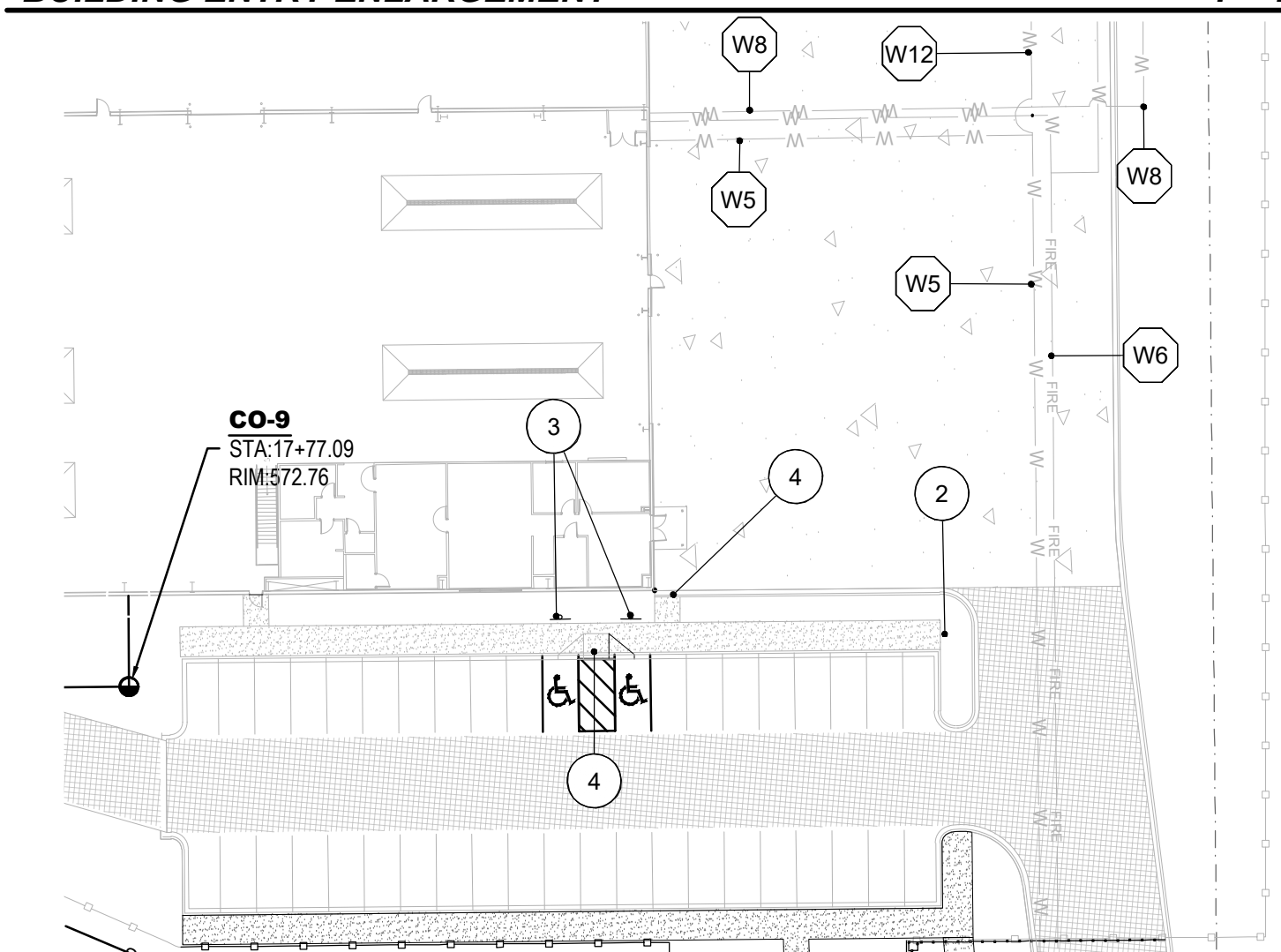
Professional Engineer Seal for Cabarrus County, NC, No. 12557, dated 05/18/22.

**MCGRATH RENTCORP - STORAGE FACILITY**  
 4862 STOUGH RD  
 CONCORD, NORTH CAROLINA 28027

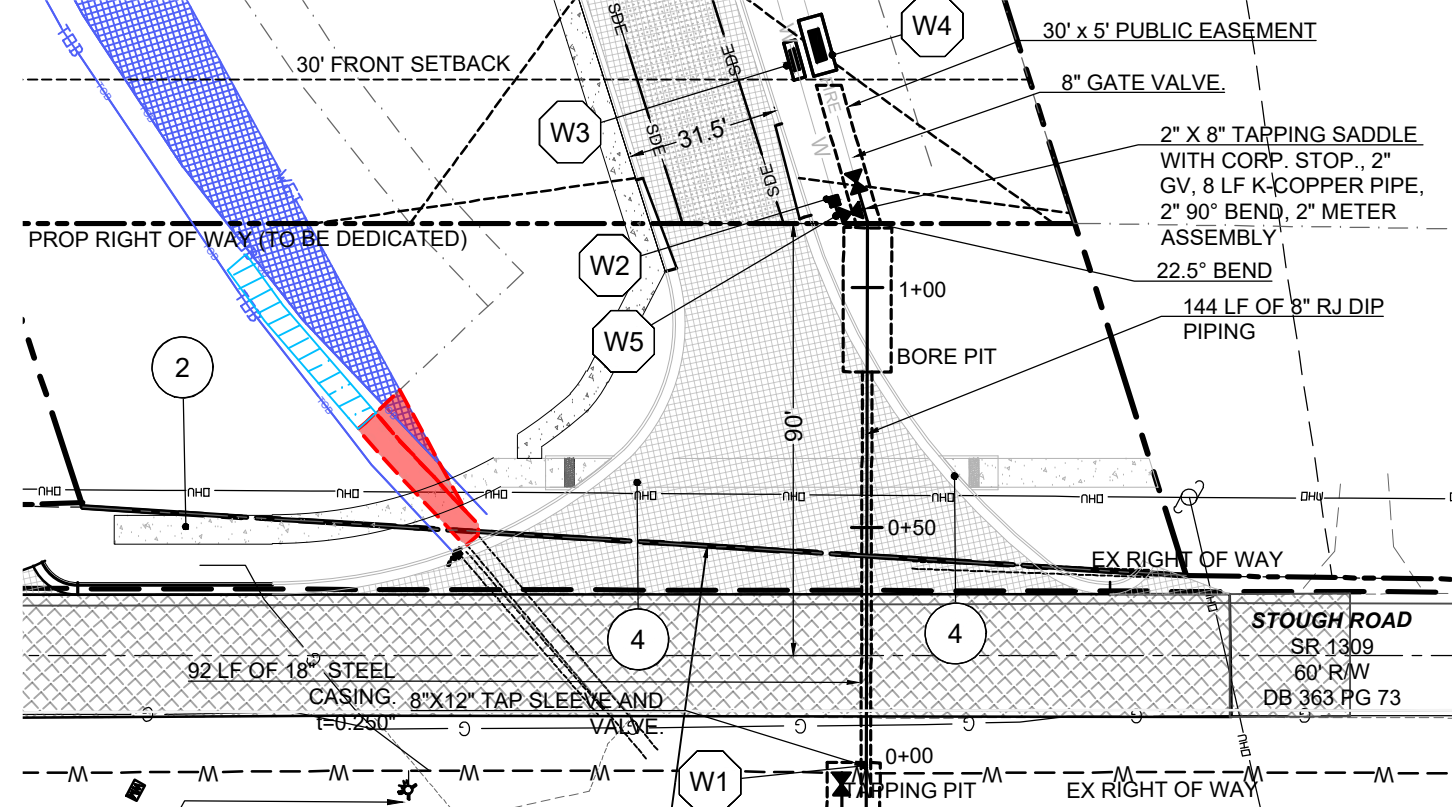
**OVERALL SITE & UTILITY PLAN**



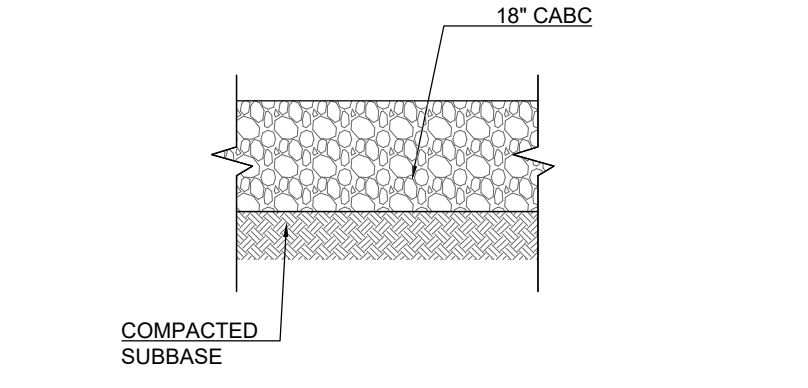
**BUILDING ENTRY ENLARGEMENT 1"=40'**



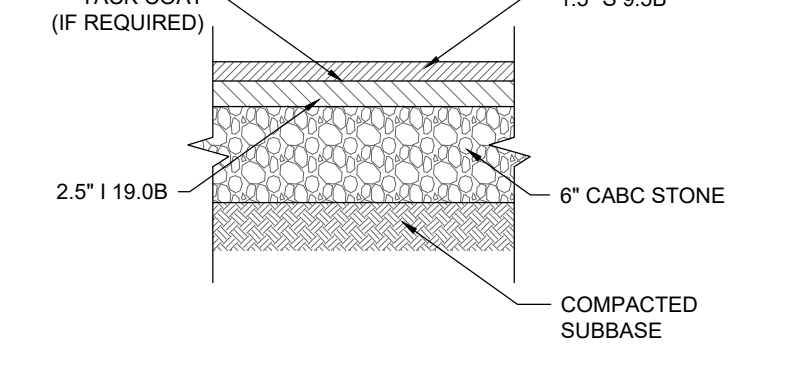
**DRIVEWAY ENLARGEMENT 1"=40'**



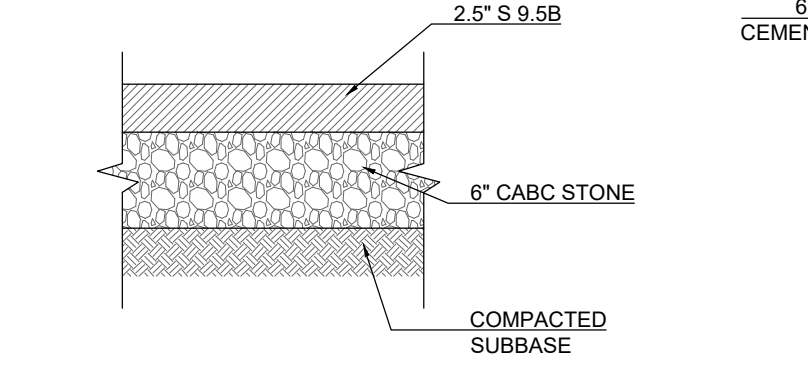
**HEAVY DUTY GRAVEL SECTION\***



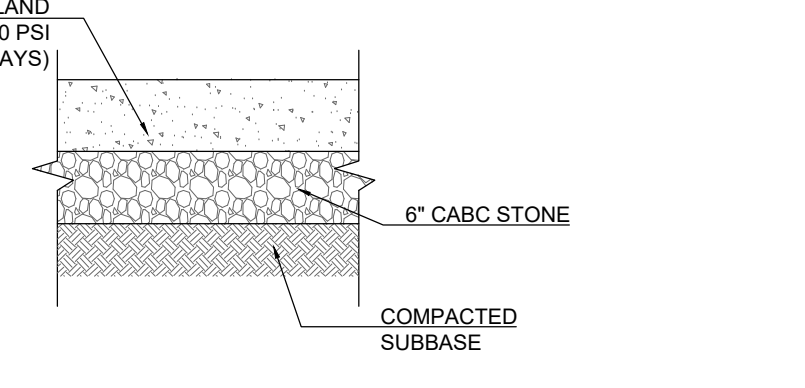
**HEAVY DUTY PAVEMENT SECTION\***



**LIGHT DUTY PAVEMENT SECTION\***



**HEAVY DUTY CONCRETE PAVEMENT SECTION\***



\* CONFIRM WITH GEOTECHNICAL ENGINEER FOR PAVEMENT SECTIONS AND SUBGRADE. NOTIFY ENGINEER IN CASE OF CONFLICT.

\* CONFIRM WITH GEOTECHNICAL ENGINEER FOR PAVEMENT SECTIONS AND SUBGRADE. NOTIFY ENGINEER IN CASE OF CONFLICT.

\* CONFIRM WITH GEOTECHNICAL ENGINEER FOR PAVEMENT SECTIONS AND SUBGRADE. NOTIFY ENGINEER IN CASE OF CONFLICT.

\* CONFIRM WITH GEOTECHNICAL ENGINEER FOR PAVEMENT SECTIONS AND SUBGRADE. NOTIFY ENGINEER IN CASE OF CONFLICT.



**LANDSCAPE SUMMARY**

**BUILDING YARD**

BUILDING LENGTH (BL)	200'
LENGTH OF ENTRYWAYS (EL)	6'
LENGTH OF YARD (BL-EL)	194'
POINTS REQUIRED (CATEGORY 3 = 0.8/LF):	155.2 POINTS
PROVIDED:	158 POINTS
SHADE TREES (12 POINTS PER)	0 (0 POINTS)
ORNAMENTAL TREES (6 POINTS PER)	7 (42 POINTS)
SHRUBS	87 (116 POINTS)
LARGE SHRUBS (3 POINTS EACH)	0 (0 POINTS)
MEDIUM SHRUBS (2 POINTS EACH)	29 (58 POINTS)
SMALL SHRUBS (1 POINTS EACH)	58 (58 POINTS)

**PARKING LOT YARD**

ONE (1) SHADE TREE OR TWO (2) ORNAMENTAL TREES & EIGHT (8) SMALL SHRUBS PER 10 PARKING SPACES	
PARKING SPACES:	43
REQ. SHADE TREES (OR ORNAMENTAL):	5 (10)
PROVIDED SHADE TREES (ORNAMENTAL):	5
REQ. SMALL SHRUBS:	40
PROV. SHRUBS:	40
SMALL:	50
LARGE:	6

**STREET YARD**

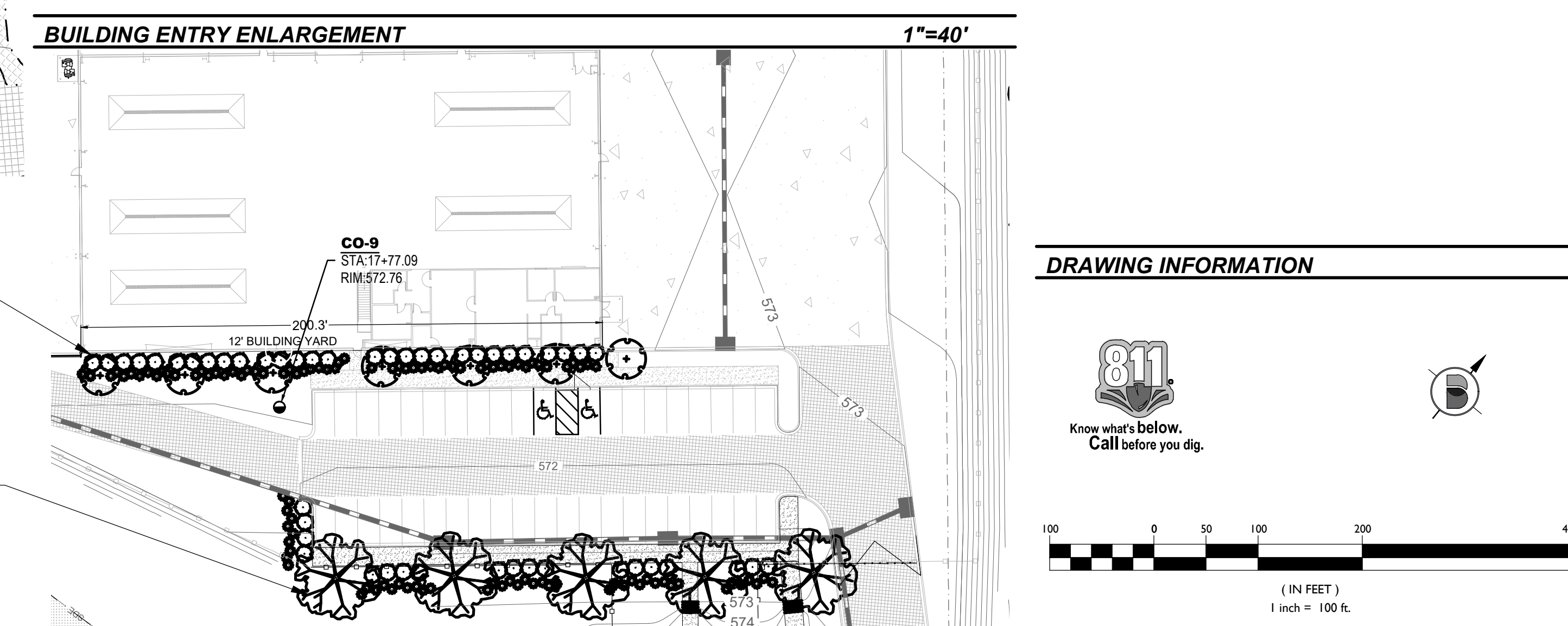
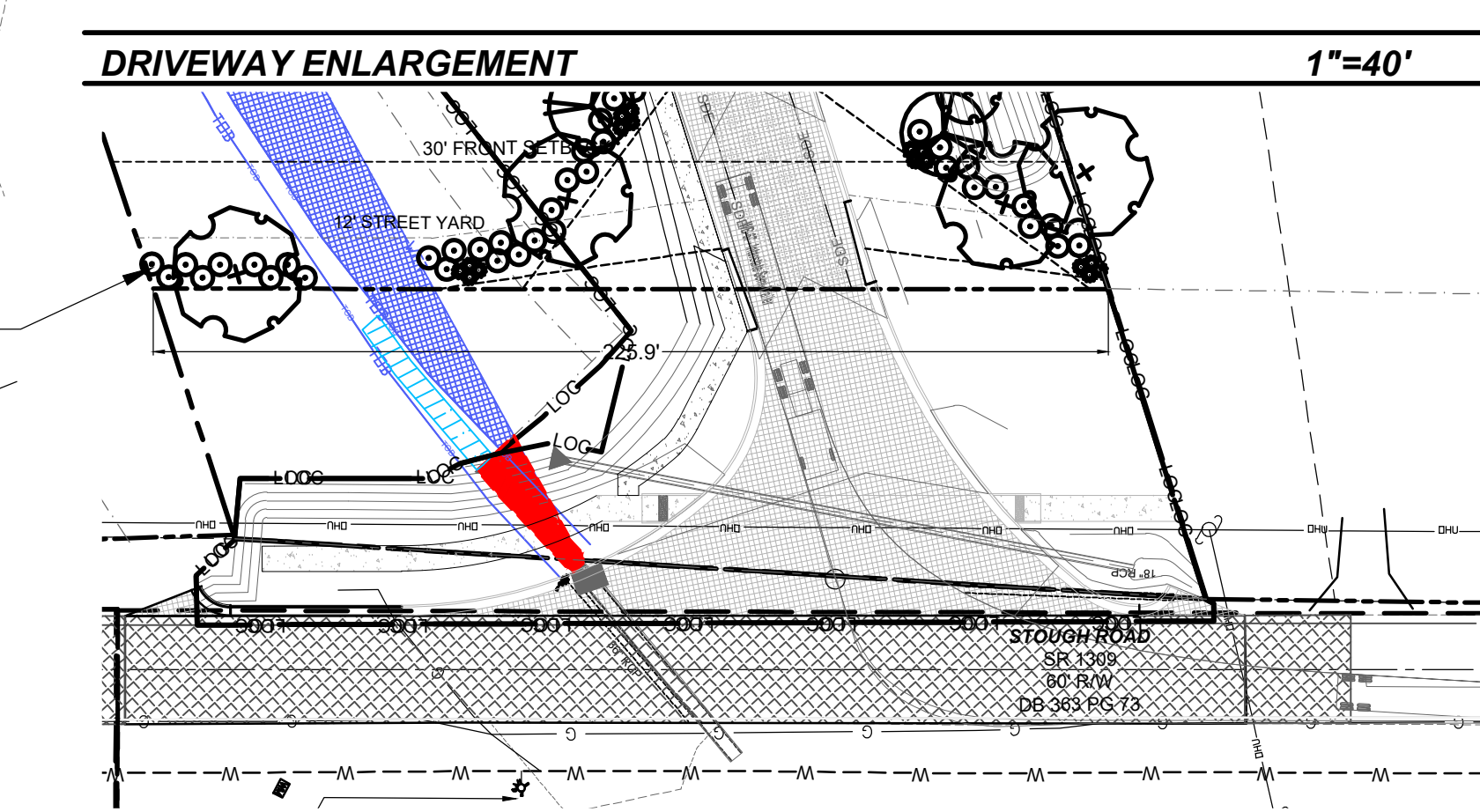
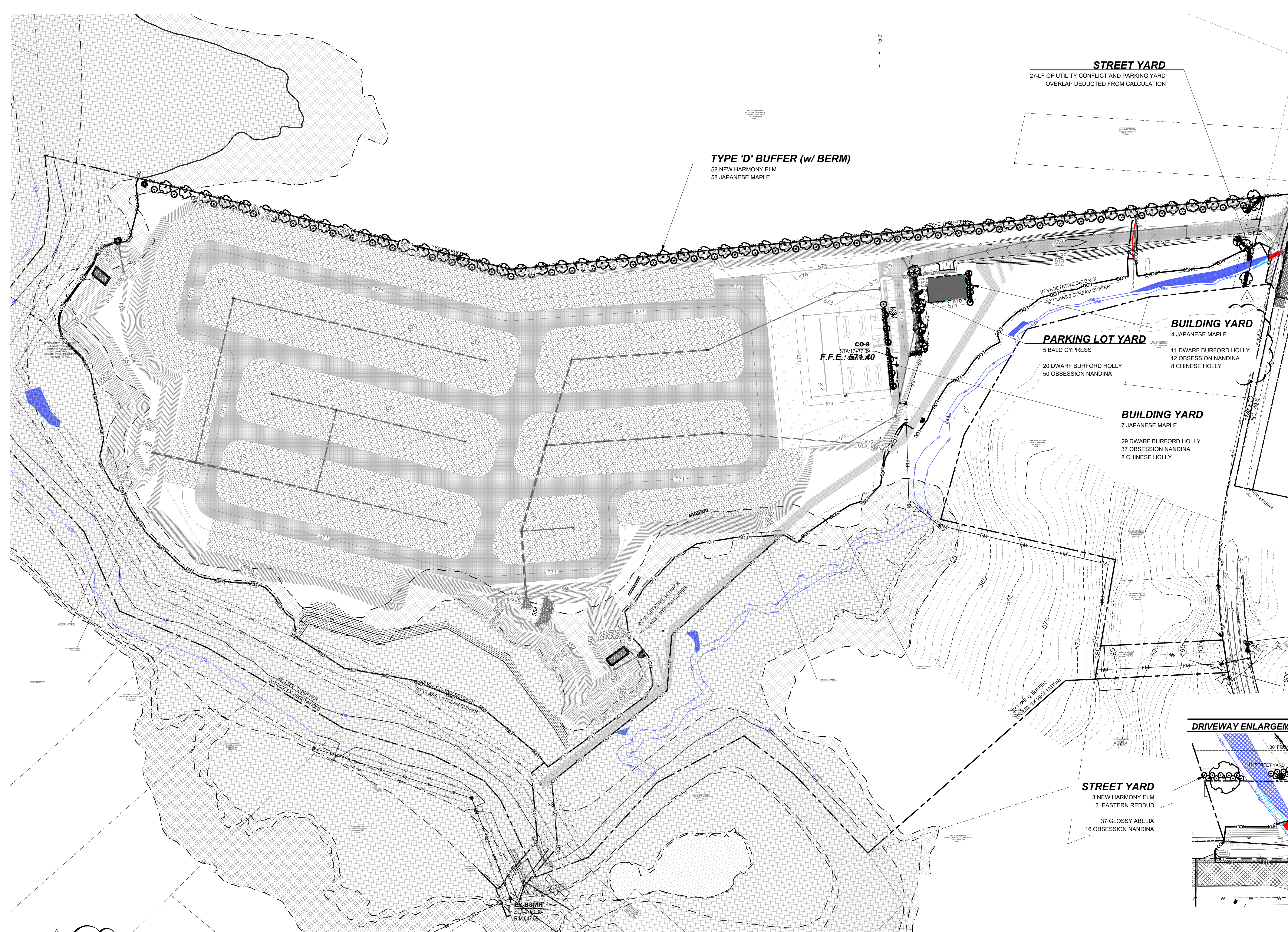
STREET LENGTH	226'
POINTS REQUIRED (CATEGORY 4 = 0.6/LF):	135.6
POINTS PROVIDED:	138
SHADE TREES (12 POINTS EACH)	3 (36 POINTS)
ORN. TREES (6 POINTS EACH)	2 (12 POINTS)
SHRUBS REQ.	53 (90 POINTS)
MEDIUM SHRUBS (2 POINTS EACH)	37 (74 POINTS)
SMALL SHRUBS (1 POINT EACH)	16 (16 POINTS)

**CITY OF CONCORD LANDSCAPE NOTES**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE ANSI A300 STANDARD FOR TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT-STANDARD PRACTICES.
- ALL PLANT STOCK SHALL COMPLY WITH THE CURRENT EDITION OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK.
- UTILITIES SHALL BE LOCATED BEFORE PLANTING. WWW.NC811.ORG.
- ANY PROPOSED PRIVATE IRRIGATION SHALL NOT LIE WITHIN UTILITY EASEMENTS OR STREET RIGHT OF WAYS, AND SHALL MEET THE REQUIREMENTS OF THE CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, SECTION 62-164.
- PLANTING LOCATIONS WILL BE ADJUSTED TO PROVIDE SUFFICIENT SPACE FOR UTILITIES, EASEMENTS, STREET LIGHTING, TRAFFIC SIGNS, AND SIGHT TRIANGLES, ON A PUBLIC STREET, NO TREES WITHIN 75' OF APPROACHING A STOP SIGN. NO PLANTS OVER 2' TALL WITHIN SIGHT TRIANGLES.
- ANY PROPOSED REDESIGN OF THE APPROVED PLANTING PLAN OR PLANT SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE CITY ARBORIST BEFORE INSTALLATION.
- ALL TREES AND THEIR PLANTED LOCATION SHALL BE INSPECTED BY CITY STAFF BEFORE APPROVAL. ANY PLANT MATERIAL WHICH HAS DIED, TURNED BROWN, OR DEFOLIATED PRIOR TO INSPECTION SHALL BE REJECTED.

**LANDSCAPE LEGEND**

TREES	SHRUBS
BALD CYPRESS	BURFORD HOLLY
NEW HARMONY ELM	DWARF BURFORD HOLLY
JAPANESE MAPLE	CHINESE HOLLY
EASTERN REDBUD	JAPANESE HOLLY
'BRIGHT 'N TIGHT' CHERRY LAUREL	OBSESSION NANDINA
	GLOSSY ABELIA



**TYPE 'D' BUFFER (w/ BERM)**  
58 NEW HARMONY ELM  
58 JAPANESE MAPLE

**STREET YARD**  
27-LF OF UTILITY CONFLICT AND PARKING YARD OVERLAP DEDUCTED FROM CALCULATION

**BUILDING YARD**  
4 JAPANESE MAPLE  
**PARKING LOT YARD**  
5 BALD CYPRESS  
20 DWARF BURFORD HOLLY  
50 OBSESSION NANDINA

**BUILDING YARD**  
7 JAPANESE MAPLE  
29 DWARF BURFORD HOLLY  
37 OBSESSION NANDINA  
8 CHINESE HOLLY

**STREET YARD**  
3 NEW HARMONY ELM  
2 EASTERN REDBUD  
37 GLOSSY ABELIA  
16 OBSESSION NANDINA

**BUILDING YARD**  
7 JAPANESE MAPLE  
29 DWARF BURFORD HOLLY  
37 OBSESSION NANDINA  
21 CHINESE HOLLY

**PARKING LOT YARD**  
5 BALD CYPRESS  
20 DWARF BURFORD HOLLY  
50 OBSESSION NANDINA

**PLANT SCHEDULE** \*FULL TO GROUND

TREES								
SYM.	QTY.	TYPE	BOTANICAL NAME	COMMON NAME	LOCATION	ROOT/CONT.	PLANTING HEIGHT/SIZE	AVG. MATURE SIZE
TD	5	SHADE	TAXODIUM DISTICHUM	BALD CYPRESS	BUILDING YARD	B & B	MIN. 6' TALL, 1" CAL.	50'-70' TALL X 20'-45' WIDE
UP	61	SHADE	ULMUS AMERICANA 'NEW HARMONY'	NEW HARMONY ELM	STREET YARD	B & B	MIN. 6' TALL, 1" CAL.	60'-70' TALL X 35'-55' WIDE
SHRUBS								
SYM.	QTY.	TYPE	BOTANICAL NAME	COMMON NAME	LOCATION	ROOT/CONT.	PLANTING HEIGHT/SIZE	AVG. MATURE SIZE
AP	69	ORN.	ACER PALMATUM 'BLOODGOOD'	JAPANESE MAPLE	BUILDING YARD	B & B	MIN. 6' TALL, 1" CAL.	15'-20' TALL X 15' WIDE
CC	2	ORN.	CERCIS CANADENSIS	EASTERN REDBUD	STREET YARD	B & B	MIN. 6' TALL, 1" CAL.	20'-30' TALL X 15'-20' WIDE
AG	176	MED.	ABELIA GRANDIFLORA	GLOSSY ABELIA	STREET YARD	5G	MIN. 36" TALL	4'-6" TALL X 3'-5" WIDE
IC	83	SMALL	ILEX CORNUTA 'CARISSA'	CHINESE HOLLY	PERIMETER PKG. LOT & BLDG. YARD	3G	MIN. 24" TALL	3'-4" TALL X 4'-6" WIDE
ND	90	SMALL	NANDINA DOMESTICA 'SEIKA'	OBSESSION NANDINA	BUILDING YARD, STREET YARD	3G	MIN. 24" TALL	3'-4" TALL X 3'-4" WIDE

CONTRACTOR IS RESPONSIBLE FOR CHECKING THAT PLANTS DEPICTED GRAPHICALLY IN PLAN MATCH COUNTS IN THE PLANT SCHEDULE PRIOR TO OBTAINING PLANT MATERIAL.